



VILLAGE OF VOORHEESVILLE



DESIGN GUIDELINES

April 14, 2021

ACKNOWLEDGMENTS

VILLAGE BOARD

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Assorted historic photos of the village collected over the years (insets) with a view looking north along Main Street, Voorheesville in Summer 2020 (background).

Introduction

This Design Guideline document has been developed by the Village of Voorheesville as a companion to their zoning law. The 2018 Village of Voorheesville Comprehensive Plan recommended development of design guidelines to illustrate the design-oriented standards included in the Zoning Law. These Design Guidelines are intended to assist residents, developers, design professionals as well as the Voorheesville Planning and Zoning Boards with the creation, review and approval of building projects in the Village.

While the Zoning Law fully articulates development standards and expectations for new construction in Voorheesville, these Guidelines provide illustrations of those standards to clarify what is expected. The design guidelines shown in this document and included in the zoning law are rooted in the Village's past architectural and development patterns.

The Village hopes that when applicants are provided with clear design guidance at the beginning of the approval process, and before large expenditures are made, they will know up-front what will be acceptable in the Village. In this way, designs consistent with the vision, goals and plans established by the Village can be promoted. The Village desires to be supportive and business-friendly and hopes that if consistent design is incorporated early in project development, then expensive delays, controversy and project redesign can be avoided.

Voorheesville zoning makes clear that the design standards are not meant to stymie creativity and diversity in architecture and building. The Village does not intend for every new building look the same – in fact the traditional nature of the Village shows much diversity. However, these Design Guidelines, together with the zoning's development standards, are intended to promote quality development that will maintain the unique character of Voorheesville. These Guidelines further the Zoning's purpose:

“To maintain the Village's traditional small-town character, which includes, but is not limited to well-kept, quaint, peaceful, and quiet neighborhoods, historic structures, and streetscapes as described in the Village of Voorheesville Comprehensive Plan (Article I (D) (2)).” That character is reflected in the establishment of various zoning districts in the Village. A copy of the zoning districts map is included at the end of this document for reference.

Design guidelines have long been used throughout New York State to protect the physical and visual environment of a community¹. These Guidelines support those regulations and serve to promote development that is considered acceptable in the community and to discourage that which is not. They serve to illustrate Voorheesville's design objectives by providing visual examples of what is desired and acceptable. They will also help by providing the Planning Commission and Zoning Board of Appeals with a clear and consistent tool for evaluating new project proposals. These design guidelines are not intended to replace any zoning law standards, but to supplement and illustrate them. They will be especially helpful in meeting Mixed-Use Business/Residential District, Main Street East and West Business District, Creekside Commercial Business District and Business District development standards.

Please note, the Village's Zoning Law lists certain information that is generally required to be submitted with site plan and special use applications. As per Article X (C) (2), (11), (12) and (13), the Planning Commission may also require specific drawings, photographs, photo simulations, or other graphics that illustrate the proposed design and features of a project – including building layout, lighting, signs, fences, parking areas and landscaping. In preparing applications, applicants are also encouraged to reference pages or pictures in these Design Guidelines that are consistent with the proposed design of their project.

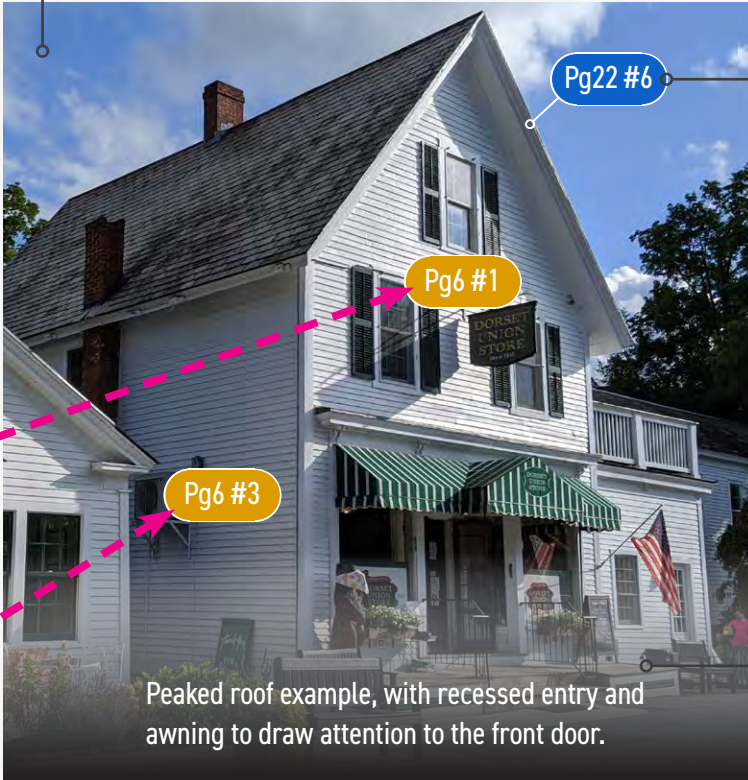
¹ *Municipal Home Rule Law 10 (1)(ii)(a)(11), Section 96-a of the New York State General Municipal Law, Village Law Section 7-725-a, and SEQRA 6NYCRR Part 617.*

How To Use This Document

The following pages provide visual examples of the zoning standards. For each topic, a direct quote from the relevant section of the Zoning Law is often provided for reference. Next to the zoning quotes, reference numbers (in the colored ovals) are often provided to link the photographs to the quotes from the zoning, as shown in the example below:



Photographic example in the Design Guidelines.



Peaked roof example, with recessed entry and awning to draw attention to the front door.

Pg22 #6

Different zoning topics are color-coded to make it easier to find the page or reference you are looking for. This reference points the reader to **Page 22, Item #6**.

Pg6 #1

In some cases, one image may be used to illustrate several requirements from the Zoning Law, and in that case, multiple parts of the Zoning text are referenced.

Pg6 #3

Photo captions are often used to help explain what is good (or bad) in the photo.

Conflicts and Compliance with Other Regulations

All development must continue to maintain compliance with all applicable codes and regulations. If any provision of these Design Guidelines present a conflict with another provision of this local law, or any other local law(s) enacted by the Village, the more restrictive provision shall control.

SAMPLE OF DESIGN GUIDELINES

Lot Design and Architectural Standards - Main Street West

From Article IV - (C)(4)(d):

To maintain the character of South Main Street, it is the objective of the Village to ensure that the Main Street West district regulations work to preserve the more residential character of that side of the street even if the uses are commercial. As such, no nonresidential use shall be established by the conversion of any building or lot originally designed for a residential use unless the existing residential character of the building is retained. No design or structural changes, additions or extensions shall be made to the front of any such structure, except as necessary to provide required means of ingress, egress, light and ventilation. No additions or extensions shall be made to the side(s) of any such existing residential structure, unless the residential character of the whole shall be retained and upon approval of a detailed site plan.



The photos on these pages provide examples of the architectural character and scale desired for residential conversions which maintain the existing character of Main Street.



This bed & breakfast in Woodstock, VT maintains their parking hidden in the rear of the property and out of sight from the street.

MAIN STREET WEST



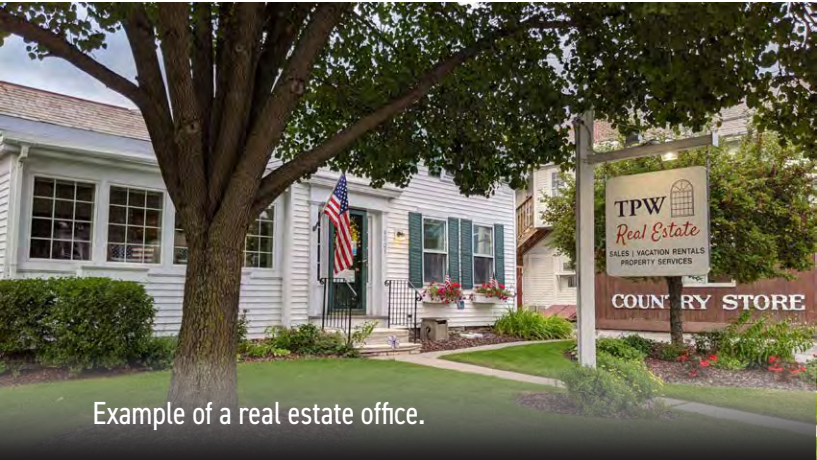
Example of a commercial bank.



Example of a commercial appliance store.



The photos on this page show many examples of how older residential homes can be successfully converted into new commercial properties without losing any of the charm, scale or character of the original residential neighborhood.



Example of a real estate office.



Often the only really visible thing that needs to change with residential conversions is the sign.

MAIN STREET EAST & WEST

Lot Design and Architectural Standards - Main Street East & Main Street West

From Article IV - (C)(4)(e):

All uses shall meet the following lot and structure development and design standards to the maximum extent feasible and consistent with the Comprehensive Plan and All Aboard Main Street Master Plan:

Lot Layout and Dimensions

- Pg6 #1** • All building facades shall be parallel to the street.

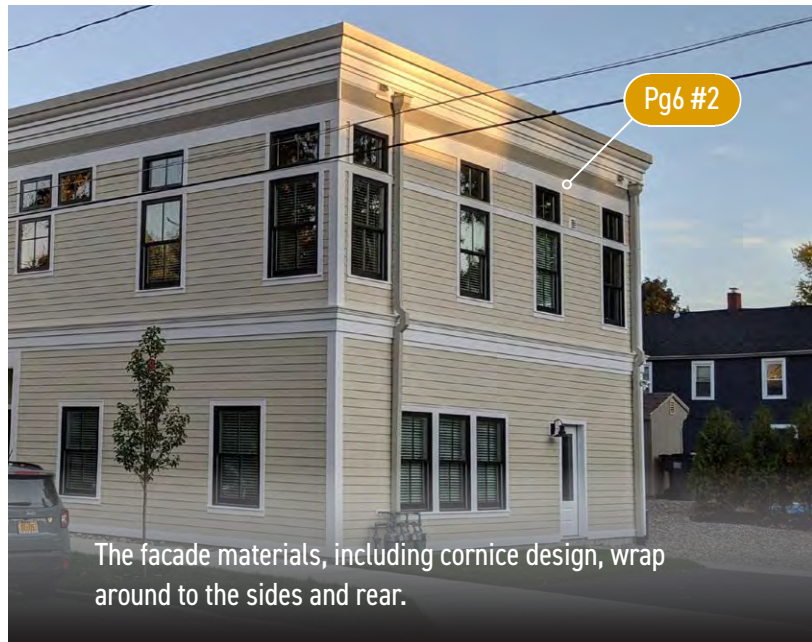
Building Design Standards

- Pg6 #2** • Street façade treatments on individual buildings shall continue along the side elevations to a logical transition point.
- Pg6 #3** • No blank walls shall face the street.
- Pg6 #4** • Buildings should reflect historically-used building materials and historic forms.
- Pg6 #5** • One-story buildings shall have peaked roofs; two story buildings may have flat roofs or peaked roofs, but no mansard roofs as they are not a traditional style on South Main Street. Roofs and eaves should be finished in a traditional manner similar to other existing historic buildings on Main Street. Flat roofs shall be finished with a decorative cornice along street facades like existing structures on South Main Street.

- Pg6 #6** • At least one customer entrance, with appropriate architectural emphasis, shall be provided on the South Main Street side of a building, except, as an alternative, if an entrance on a side façade located within 15 feet of the South Main Street façade and with architectural projections such as a decorative canopy, projecting vestibule, or other similar element is provided for.

- Pg6 #7** • Street facades greater than 50’ in length shall contain variations in vertical elevations at the roofline or wall plane projections or recesses along the facade to provide variety and visual interest along the street.

- Pg6 #8** • Outdoor mechanical equipment shall be placed with landscaping or decorative walls compatible with the architecture of the principal building. Rooftop mechanical equipment shall be screened with parapets or other decorative features. Refuse collection areas should be located toward rear of a lot, enclosed with decorative materials, and designed to be an integrated component of the building.”



MAIN STREET EAST & WEST



Peaked roof example, with recessed entry and awning to draw attention to the front door.



Flat roof example, with recessed entry and covered porch.



Combination of flat and peaked roof, to break up the longer facade and draw attention to the entry, with a decorative cornice wrapping around the building.

MAIN STREET EAST & WEST

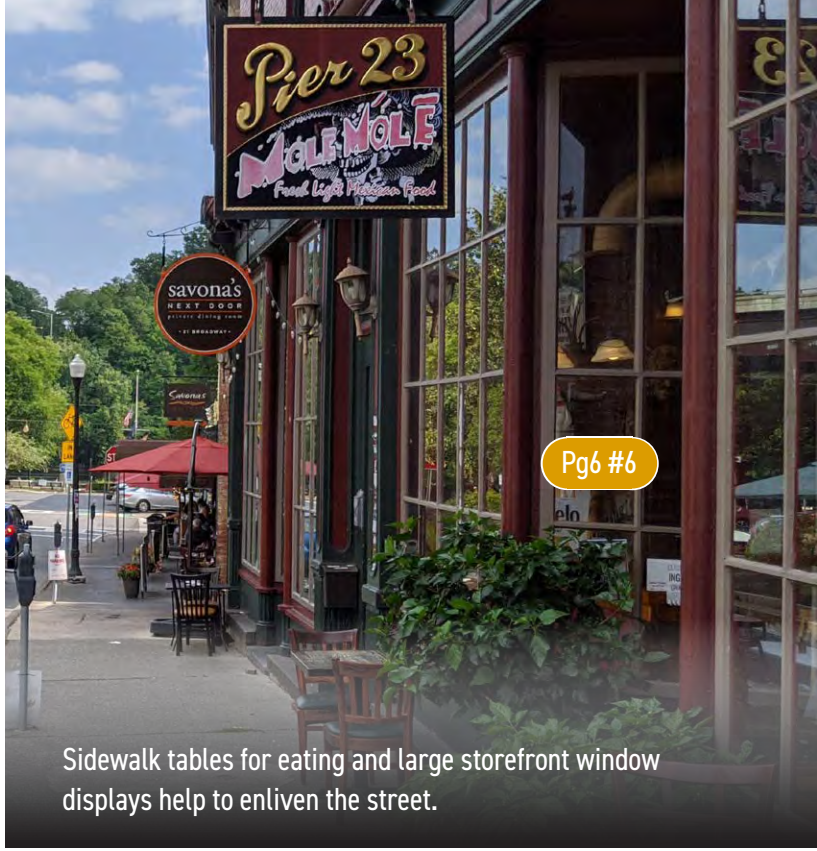


This building steps back from the sidewalk a few feet to create a nice outdoor dining area.



Pg6 #5

Pg6 #6



Pg6 #6

Sidewalk tables for eating and large storefront window displays help to enliven the street.



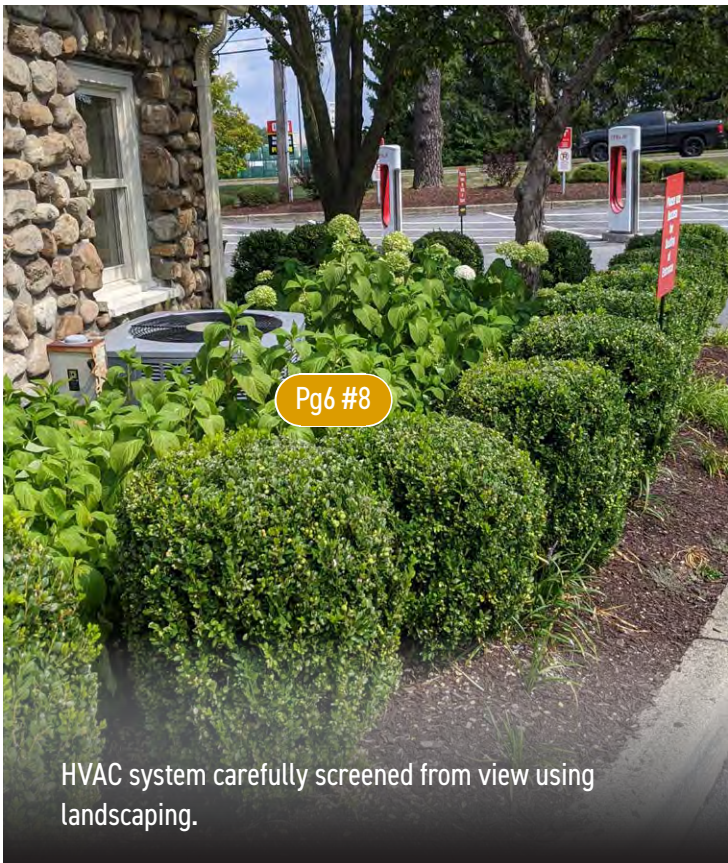
Pg22 #6

The desired character along Main Street includes large open windows at the ground floor, recessed or covered entryways which are easily visible, with landscaping such as shrubs, flowers and street trees to create a pleasant environment.

MAIN STREET EAST & WEST



In areas where the front facade steps back from the road, or in spaces between the buildings, open air courtyards can provide space for outdoor dining or pocket parks for people to gather.



HVAC system carefully screened from view using landscaping.



The photos on these pages provide examples of the architectural character and scale desired for Main Street. Common characteristics include: large shopfront windows along sidewalk pedestrian areas; covered outdoor seating; plants, flowers and other landscaping; recessed front doors; and traditional wooden signs.

MAIN STREET EAST & WEST



MAIN STREET EAST & WEST



Photosimulation view looking south along Main Street, depicting what potential new infill development might look like under the design guidelines. The intent is to create an active and engaging streetscape.

MIXED USE DISTRICT

Mixed Use - Business/Residential District

From Article IV - (C)(5)(e)(14):

Building design should be like that found in other areas of the Village, or a contemporary expression of traditional styles that respect the scale, proportion, character and materials of older areas in the Village.



This bank utilizes an on-site raingarden to collect stormwater and act as a decorative landscaping feature.



Example of a new pharmacy with small scale character.



One example of the architectural scale and character desired for new construction in the village.



The use of different traditional materials such as wood clapboard and stone, combined with the roof articulations and cupolas, help to reduce the scale of this larger building.

MIXED USE DISTRICT



This bank can fit into the character of a residential neighborhood with an open front porch, attractive lawn and sloped roof.



MIXED USE DISTRICT



This larger building is broken up into smaller-scale parts with the use of the gables at either end, and the covered porch drawing people to the entry doors.



Example of smaller scale village character design.

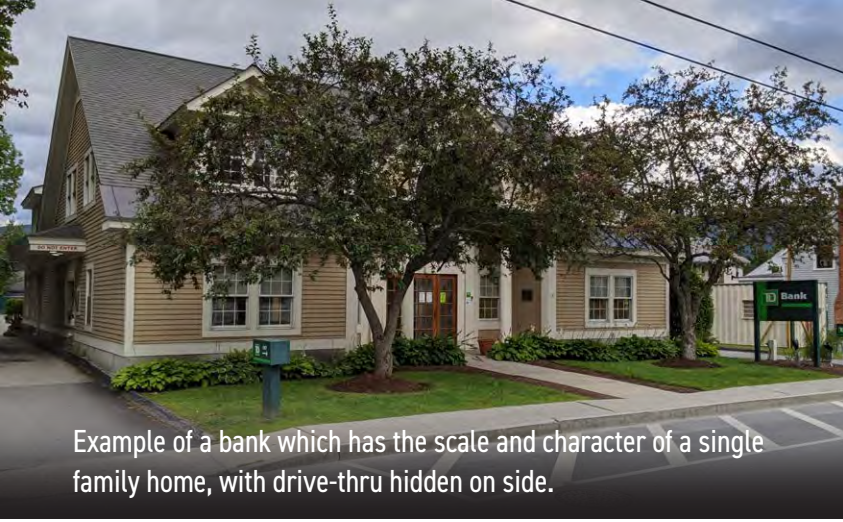


Example of smaller scale village character design.



This newly constructed building with wood clapboard and trim is a contemporary expression of traditional styles found in the village.

MIXED USE DISTRICT



Example of a bank which has the scale and character of a single family home, with drive-thru hidden on side.



Pg22 #2

Outdoor patio seating areas are screened from the road with tall evergreen plantings.



Front entry porch and landscaping help to make this store very welcoming and attractive.



Example of a bank with a prominent front entry and a drive-thru hidden in the rear.



Pg32 #2

Pg28 #3

New construction is encouraged to provide an attractive front lawn, with parking provided on the side or rear of the building.

Creekside Commercial

From Article IV - (C)(6)(c):

Pg16 #1 (2)(e) Landscape features, including but not limited to trees, planting boxes, planting strips, landscaped berms, shrubs, and other features shall be used along the sidewalks to separate the vehicular traffic from pedestrians to the maximum extent feasible. Bicycle lanes striped into the roadway are also encouraged. If bicycle lanes are provided, then bicycle parking in the form of bicycle racks or storage facilities should also be provided for on-site.

Pg16 #2 (2)(f) The Planning Commission may require that brick or stamped asphalt or concrete be used for all crosswalks or pedestrian paths within an off-street parking area.”

(C)(6)(c)(3) Aesthetics and Community Character

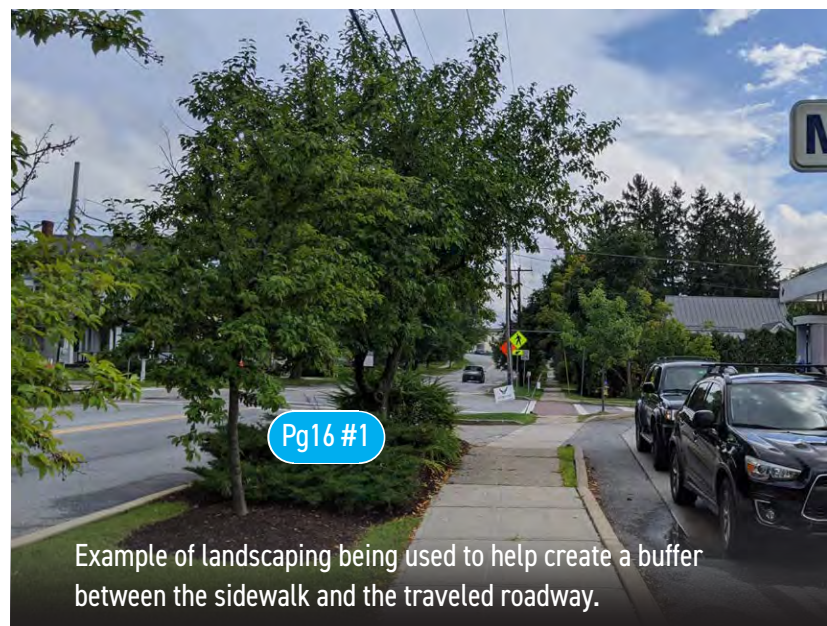
Pg16 #3 a) Roof pitch, façade treatment, use of awnings or porches, and other architectural features found on existing Maple Avenue structures shall be included in the required building design. To promote this area as a community gateway, each new building or structure should relate architecturally to the Village by including distinctive elements that identify the community and/or convey the community character. New buildings should emulate rooflines, porches, windows (like from the church) and other features.

Pg16 #4 b) True divided light windows or simulated divided light windows should be used on front facades.

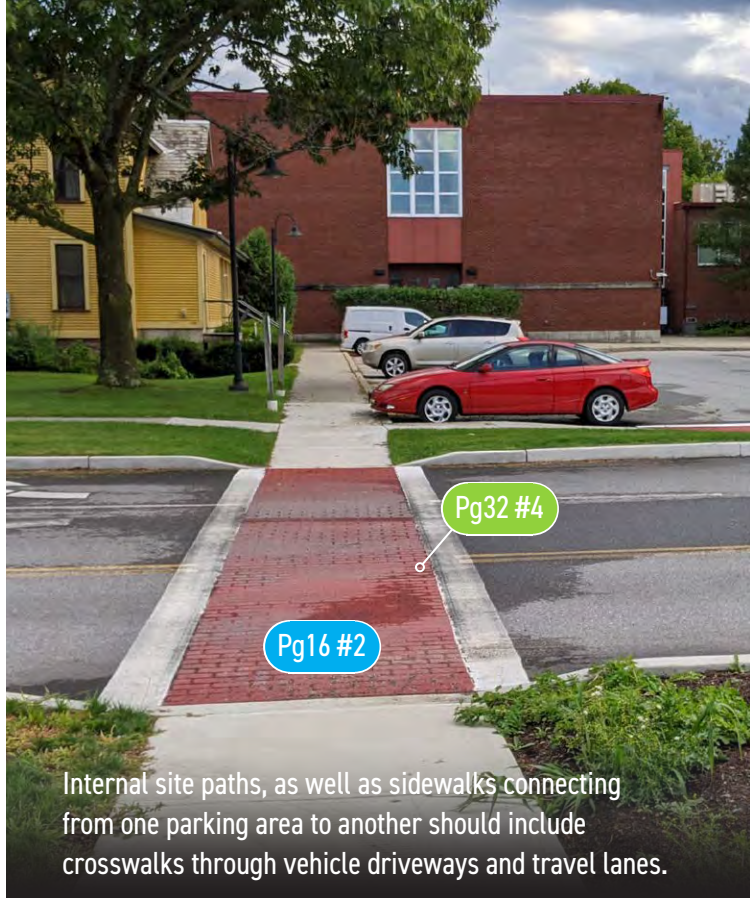
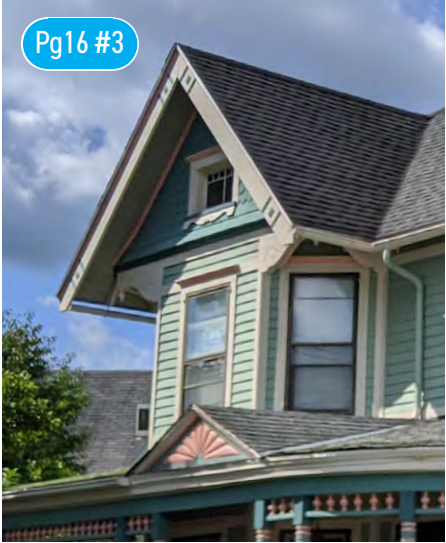
Pg16 #5 c) Mechanical systems shall be screened and hidden from view.

Pg16 #6 d) Facades shall be built parallel to the principal lot frontage line.

Pg16 #7 e) The Planning Commission may require other design and architectural standards pursuant to Article IV (C) (6).



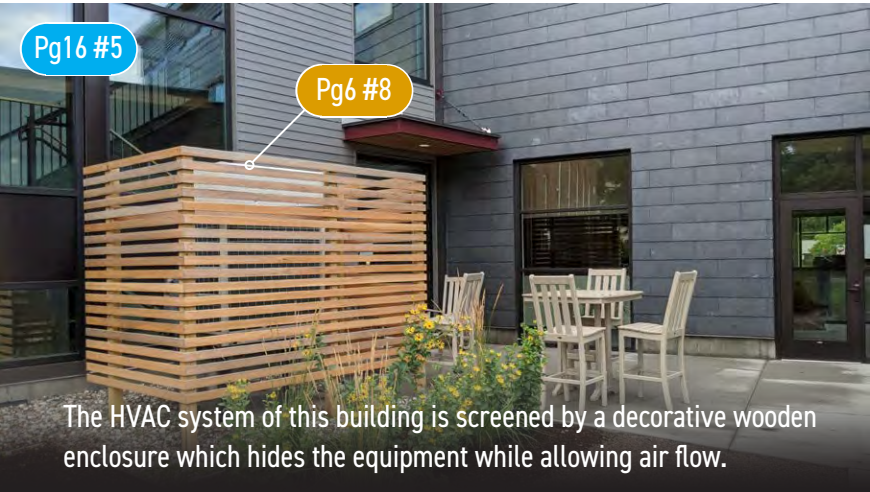
CREEKSIDE COMMERCIAL



Internal site paths, as well as sidewalks connecting from one parking area to another should include crosswalks through vehicle driveways and travel lanes.



Deep roof overhangs and gable end trim detail helps to give this new building a more traditional character.



The HVAC system of this building is screened by a decorative wooden enclosure which hides the equipment while allowing air flow.

CREEKSIDE COMMERCIAL

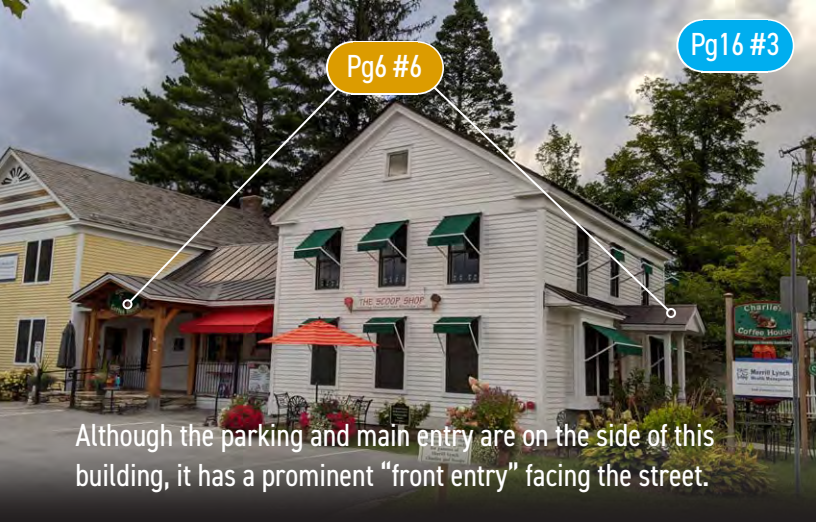


Landscaping wall also provides outdoor seating.



Pg16 #1

Attractive landscaping with wooden bench and trash receptacle.



Pg6 #6

Pg16 #3

Although the parking and main entry are on the side of this building, it has a prominent "front entry" facing the street.



Pg16 #3

Outdoor dining is encouraged along the creek.



Pg16 #3

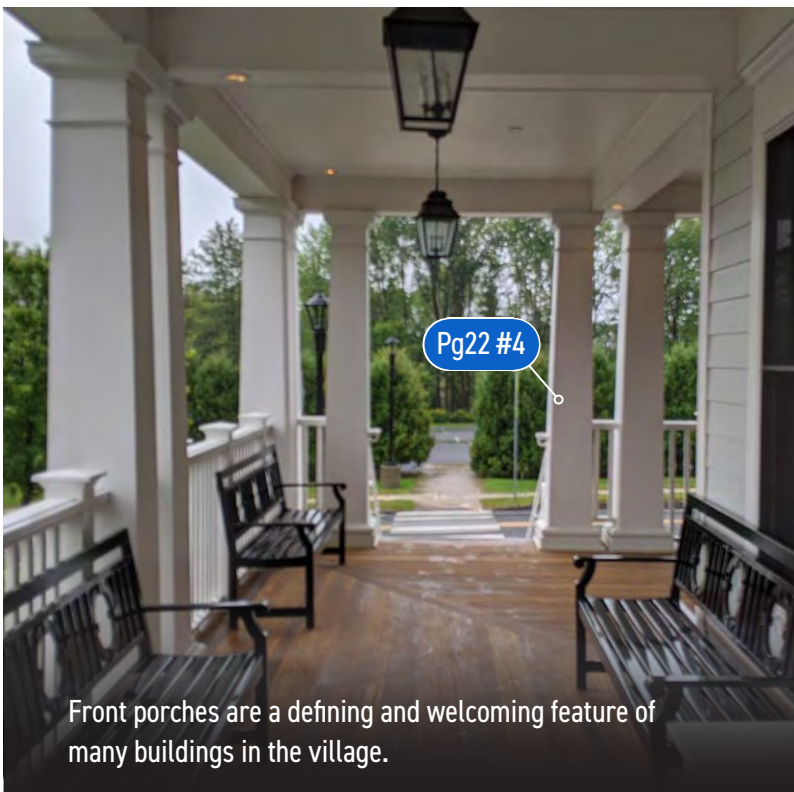
Pg22 #3

Pg22 #7

Pg16 #4

The use of dormers and awnings help to reduce the scale of the building and direct rain away from entrance doors.

CREEKSIDE COMMERCIAL



TWO-FAMILY HOMES

Two Family Homes

From Article VII - (D)(1)(e):

Two-family homes shall be architecturally designed to emulate a single-family home. Units may be side by side or stacked but building details including roof forms, siding materials, windows, doors, and trim shall reflect a similar level of quality and architectural detailing on all sides facing a street and consistent with single-family homes in the neighborhood.



TWO-FAMILY HOMES



The images on these pages provide desired examples of duplex / two-family homes recently constructed which are highly compatible with the scale and character of a single family home or village neighborhood.

MULTI-FAMILY HOMES

Multi-Family Homes

From Article VII - (E):

8.) The design of multi-unit dwellings shall emulate a single-family residence. Building details including roof forms, siding materials, windows, doors, and trim shall reflect a similar level of quality and architectural detailing on all sides facing a street. The street-facing front façades of buildings shall provide at least three of the following articulation elements:

- Pg22 #1 a) A covered porch;
- Pg22 #2 b) A recessed entrance;
- Pg22 #3 c) One or more dormer windows or cupolas;
- Pg22 #4 d) Pillars, posts, or pilasters;
- Pg22 #5 e) One or more bay windows projecting at least twelve (12) inches from the façade plane;
- Pg22 #6 f) Eaves projecting at least four-inches from the façade plane;

- Pg22 #7 g) Raised corniced parapets over the entrance door;
- Pg22 #8 h) Multiple windows with a trim at least four-inches wide;
- Pg22 #9 i) Integral planters that incorporate landscaped areas or places for sitting.

9.) Side façades shall maintain at least twenty (20) percent of the façade area as windows.

10.) Principal buildings shall incorporate roof pitches between 3:12 and 12:12, or incorporate a parapet at least three (3) feet high with a three-dimensional cornice around a flat roof. Alternative roof forms or pitches may be allowed for small roof sections over porches, entryways, or similar features. All roof vents, pipes, antennas, satellite dishes, and other roof penetrations and equipment (except chimneys) shall be located on the rear elevations or otherwise be configured, to the degree practicable, to have a minimal visual impact as seen from the street.

11.) Garages shall be located to the side or rear of the building(s) containing the dwellings.



The varied rooflines of the building help to reduce the scale of the structures.

MULTI-FAMILY HOMES



The individual entryways to the apartments here are highlighted by recessed vestibules and covered porches.



Example of an apartment complex with covered porches and patios which emulates the scale of a single-family home.



The parking for this apartment complex is hidden in the rear, providing an attractive front lawn and residential entries.



Senior Housing

From Article VII - (F)(4)(n):

Pg24 #1 1. The design of any senior housing shall emulate to the maximum extent practicable rooflines, windows and doors, facades, and other features similar to single family dwellings and the design of the surrounding neighborhood structures.

Pg24 #2 2. The Planning Commission may require use of a vegetated or landscaped buffer to screen the senior housing from adjacent properties.

Pg24 #3 3. Senior housing shall preserve, to the greatest extent practicable, mature trees, slopes, wetlands and stream corridors.

Pg24 #4 4. Sites shall emphasize pedestrian circulation and shall provide a safe and reasonable system of drives, service access and parking conveniently accessible to all occupants. Sidewalks shall be provided to link parking lots, and buildings on site and with adjacent properties.



The images on these pages provide desired examples of different senior housing complexes which have been constructed to be compatible with the scale and character of a single-family home neighborhood.



Pg6 #7

SENIOR HOUSING



The use of roof peaks, dormers and smaller massing elements help to reduce the scale of the larger buildings and blend in with the neighborhood. (Note: Parking shown in front of building is not indicative of desired design.)

ACCESSORY DWELLINGS

Cottage Home Accessory Dwelling as an Accessory Structure

See Article VII - (M)(3).

The images on these pages provide examples of different accessory structures which have been built or adapted to function as a Cottage Home / Accessory Dwelling in a village-scale setting. Several of the examples are garage apartments, or renovated garage or carriage houses, found in the rear yard of the property or accessed by an alley.



ACCESSORY DWELLINGS



PARKING

Parking

From Article V (C)(4)(e):

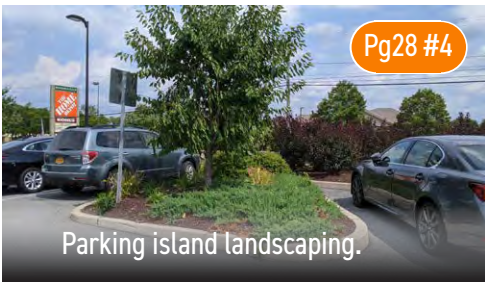
- Pg28 #1** • Shared-use parking is encouraged, and the Planning Commission may require development of a shared use parking scheme as per the All Aboard Main Street Master Plan.
- Pg28 #2** • On-street parking available along frontage and within 50' of the principal building may be counted towards off-street parking requirements.
- Pg28 #3** • Parking lots shall be placed in side or rear yards. Parking lots shall be setback to be even with the front façade of the principal building on the lot and shall be buffered between the street edge/sidewalk with landscaping.
- Pg28 #4** • Landscaping shall be provided for between parking bays in parking lots having spots for more than 10 cars.



PARKING



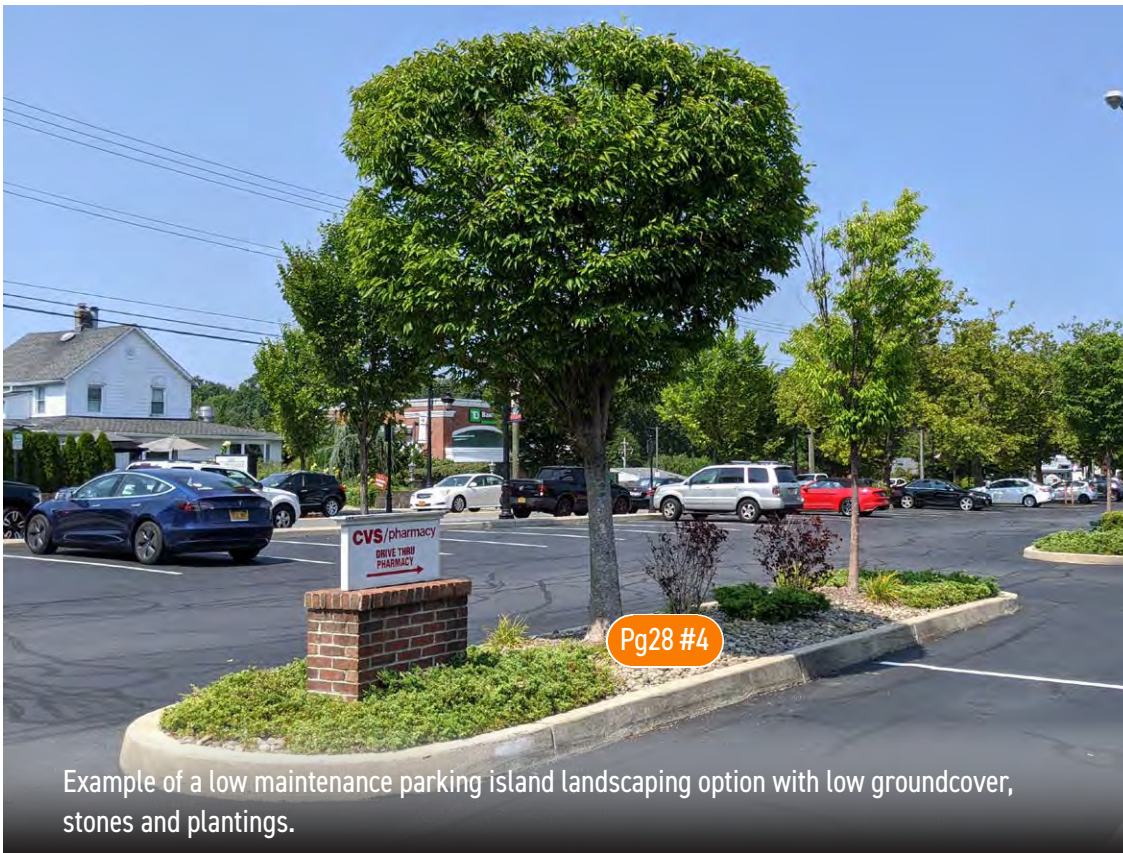
This parking area is pulled back from the road to align with the building, keeping it out of the front yard so that a nice front lawn area can be the focus of the property.



Parking island landscaping.



Parking island landscaping with built in sidewalks and crosswalks.



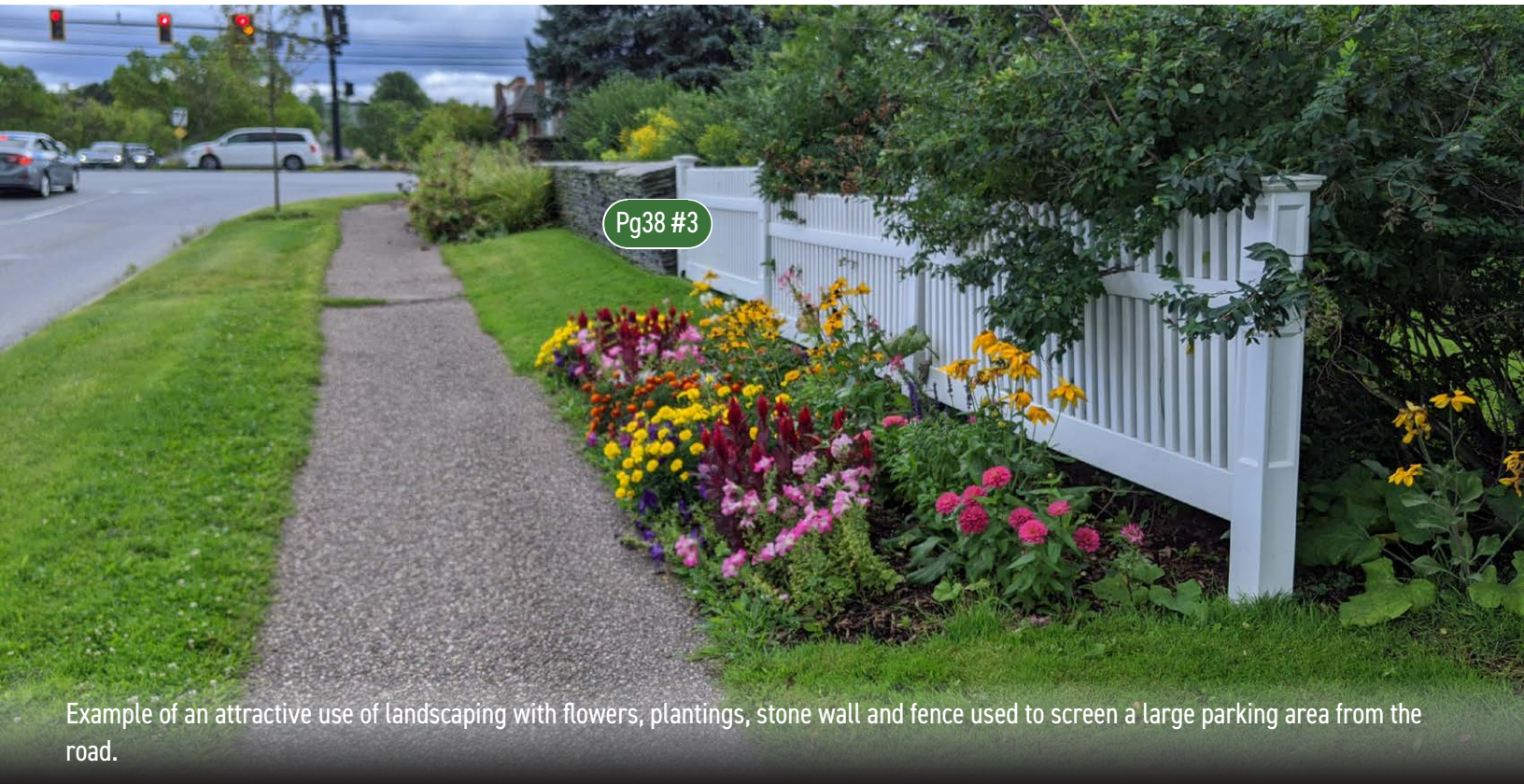
Example of a low maintenance parking island landscaping option with low groundcover, stones and plantings.

PARKING

Parking & Off Street Loading

From Article VII - (S)(1):

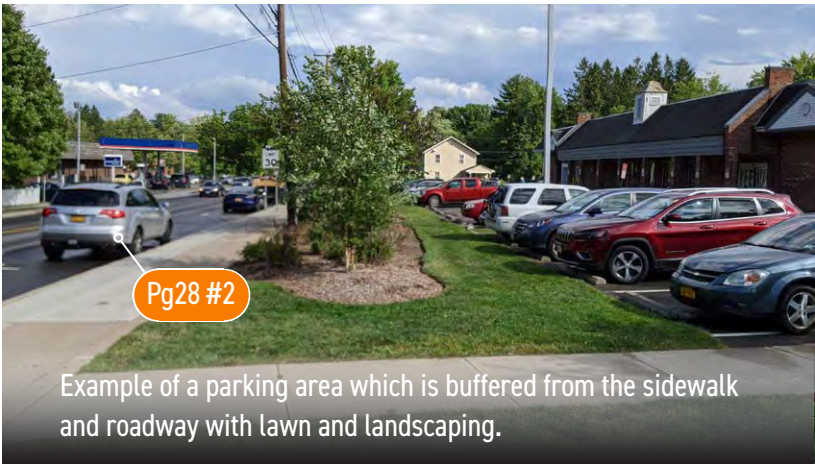
The purpose of the off-street parking and loading regulations is to ensure that such uses are treated as accessory uses, are adequate to serve needs, do not predominate the site, are placed to minimize their visibility, and feature quality landscaping and architecture to reduce the visual impact of glare, headlights, and parking lot lights from streets and neighboring properties. Off-street parking areas should complement the buildings on a site, improve the appearance of the Village, protect the character of nearby residential, business and institutional uses, and conserve the value of land and buildings on surrounding properties.



PARKING



These parking areas are separated by wide landscaped areas which are both attractive and also provide snow storage.



Example of a parking area which is buffered from the sidewalk and roadway with lawn and landscaping.



Example of an attractive pedestrian area with seating, trash receptacles and landscaping as a buffer to the parking.



This parking area is buffered from the adjacent sidewalk with an attractive fence and landscaping.

Access & Pedestrian Systems

From Article IV - (C)(4)(e):

- Pg32 #1 • Lot design and layout shall include cross access between lots if applicable, so that, over time, parking lots are interconnected.
- Pg32 #2 • Sidewalks and designated walkways from building entries to the street sidewalks and sidewalks along the frontage of a building shall be required for all uses. Sidewalks shall be 5' in width where possible and meet federal Americans with Disabilities Act standards.
- Pg32 #3 • Standards for flush curbs, curb ramps, warning strips, and other street features shall be designed as per New York State Department of Transportation requirements.
- Pg32 #4 • Pedestrian crosswalks shall be provided for and extend across driveways for continuity. Such crosswalks may be painted, stamped, or continuous sidewalk.
- Pg32 #5 • No loading and delivery areas shall be located between a principal building and street. Loading docks shall be screened and landscaped when visible from the public right-of-way.



Example of a continuous sidewalk through a driveway curbcut.



Sidewalks connecting through parking areas should include marked crosswalks which are easy to see.



Example of a brick paver crosswalk.

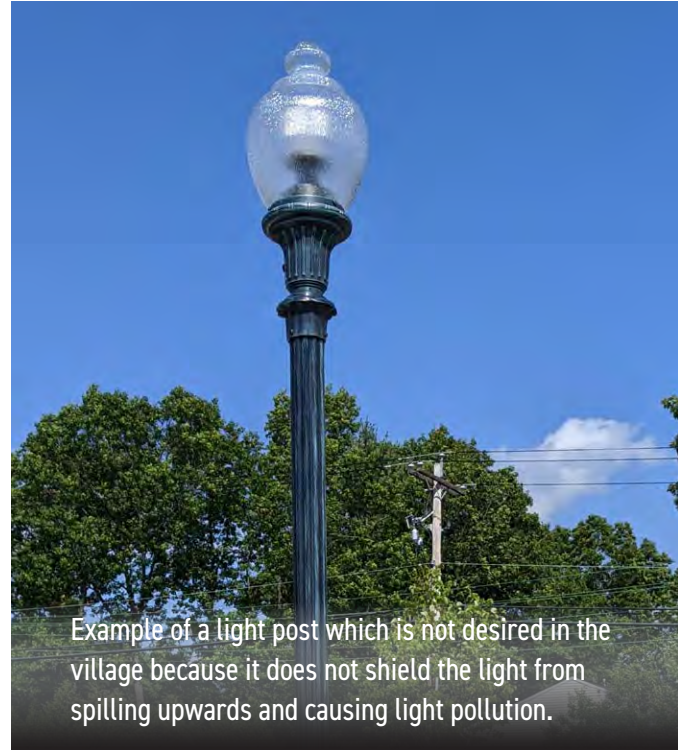
ACCESS & PEDESTRIAN SYSTEMS



Street Lighting and Signage

From Article IV - (C)(4)(e):

- Pg34 #1** • Ornamental street lights should be provided at a pedestrian scale in the Main Street South area.
- Pg34 #2** • Lighting should be focused on pedestrian spaces.
- Pg34 #3** • LED and LED scrolling signs shall not be allowed in the Main Street districts.
- Pg34 #4** • Applicants should refer to and incorporate lighting and signage recommendations made in the Main Street Master Plan.



LIGHTING & SIGNAGE



Example of an LED sign which would not be allowed in the Main Street district, but would be allowed in other districts.



Example of a simple facade mounted sign board.



Example of simple facade mounted sign lettering with external lighting.



An example of an attractive freestanding sign, set in a stone base in a bed of flowers, utilizing an external lighting source.



Example of a simple facade mounted sign board.



Example of a simple facade mounted sign board.

LIGHTING & SIGNAGE

Signs

See Article VII - (O)(4).

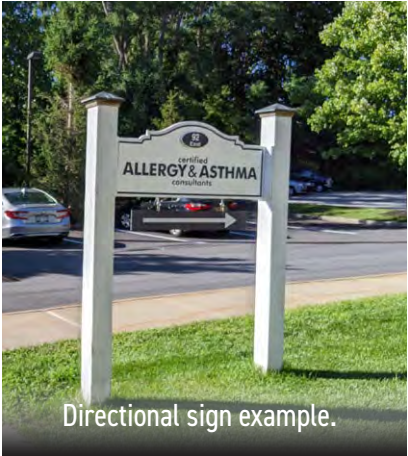
The images on these pages provide desired examples of different signs which are compatible with the scale and character of the village.



Freestanding sign example.



Freestanding sign example.



Directional sign example.



Example of a freestanding sign with great landscaping.



Pg34 #4

Example of commercial signage which is in character and scale with the village.

LIGHTING & SIGNAGE



This facade mounted sign is carefully integrated into the design of the facade itself.



Example of a freestanding sign with landscaping around base.



Example of a freestanding sign with attractive flower bed.

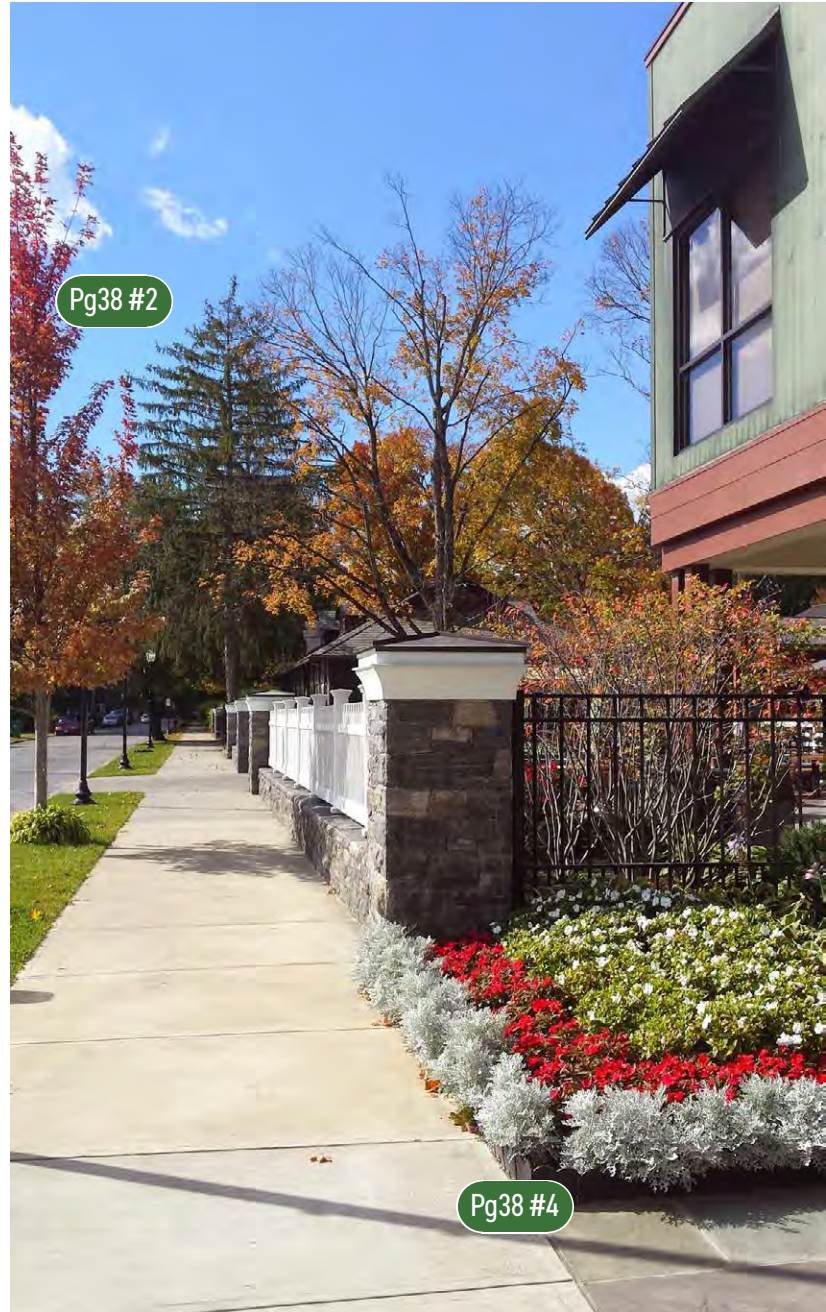


Example of a facade mounted sign.

Landscaping

From Article IV - (C)(4)(e):

- Pg38 #1** • Provide for buffering, fencing, changes in lighting or landscaping between a commercial lot and a property in an adjacent residentially zoned district.
- Pg38 #2** • Use the list of trees included in the Main Street Master Plan for choice of tree species.
- Pg38 #3** • Parking lot and street edge plantings shall be required.
- Pg38 #4** • Foundation plantings may be required.
- Pg38 #5** • Where feasible, trees should be planted on the outside of the sidewalks, as shown in the illustration. Where space outside of the sidewalk is unavailable, trees can be in the sidewalk a minimum of 3 feet from the curb.
- Pg38 #6** • Use tree grates and tree guards where trees are within sidewalks.
- Pg38 #7** • Tree locations should not conflict with underground or overhead utilities.
- Pg38 #8** • Trees should have a minimum 8 feet vertical branch height and an upright growing form so as not to interfere with pedestrians.



Example of desired foundation plantings.



Example of desired landscaping around pedestrian areas.

LANDSCAPING



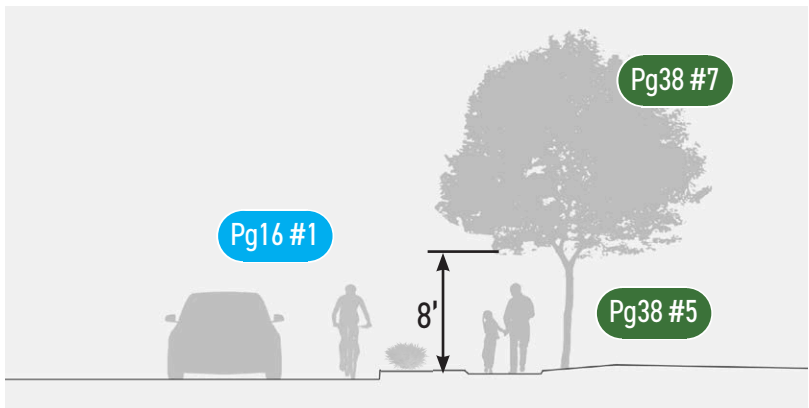
Example of landscaping which helps to create a buffer between the sidewalk and heavy traffic areas.



Foundation plantings.



Example of desired landscaping around pedestrian areas.



Attractive landscaping helps to buffer an outdoor dining area from the adjacent sidewalk.

Fences

From Article VII - (P):

In no case shall a fence be erected, enlarged or altered without a building permit. The finished side of a fence must face outward from the property. In addition:

1.) Within the limits of a side yard and/or a rear yard, no fence or wall, except a retaining wall, shall be more than six feet high.

2.) Within the limits of a front yard, no fence or walk, except a retaining wall shall be more than four feet high, or more than one-half sided. The outer face of any fence within a front yard shall be comprised of materials such as wood or vinyl pickets, split rail or wrought iron. No wire or temporary fences shall be permitted in a front yard (unless on sites under construction or for temporary snow control.)



FENCES



Fence providing screening between a parking lot and an adjacent residential home.



FORMULA BUSINESSES



Example of a typical formula business design for McDonald's.



Example of a design for McDonald's which has been tailored to fit in with the local community character.



Example of a typical formula business design for Walgreens.



Example of a design for Walgreens which has been tailored to fit in with the local community character.



Example of a typical formula business design for Dunkin' Donuts.



Example of a design for Dunkin' Donuts which has been tailored to fit in with the local community character.

The images on this page provides examples of different corporate franchise businesses which have adapted their standard architectural design to adapt and be in keeping with different communities. The examples shown above are not intended to represent the architectural style for formula businesses in the village.

Formula Businesses

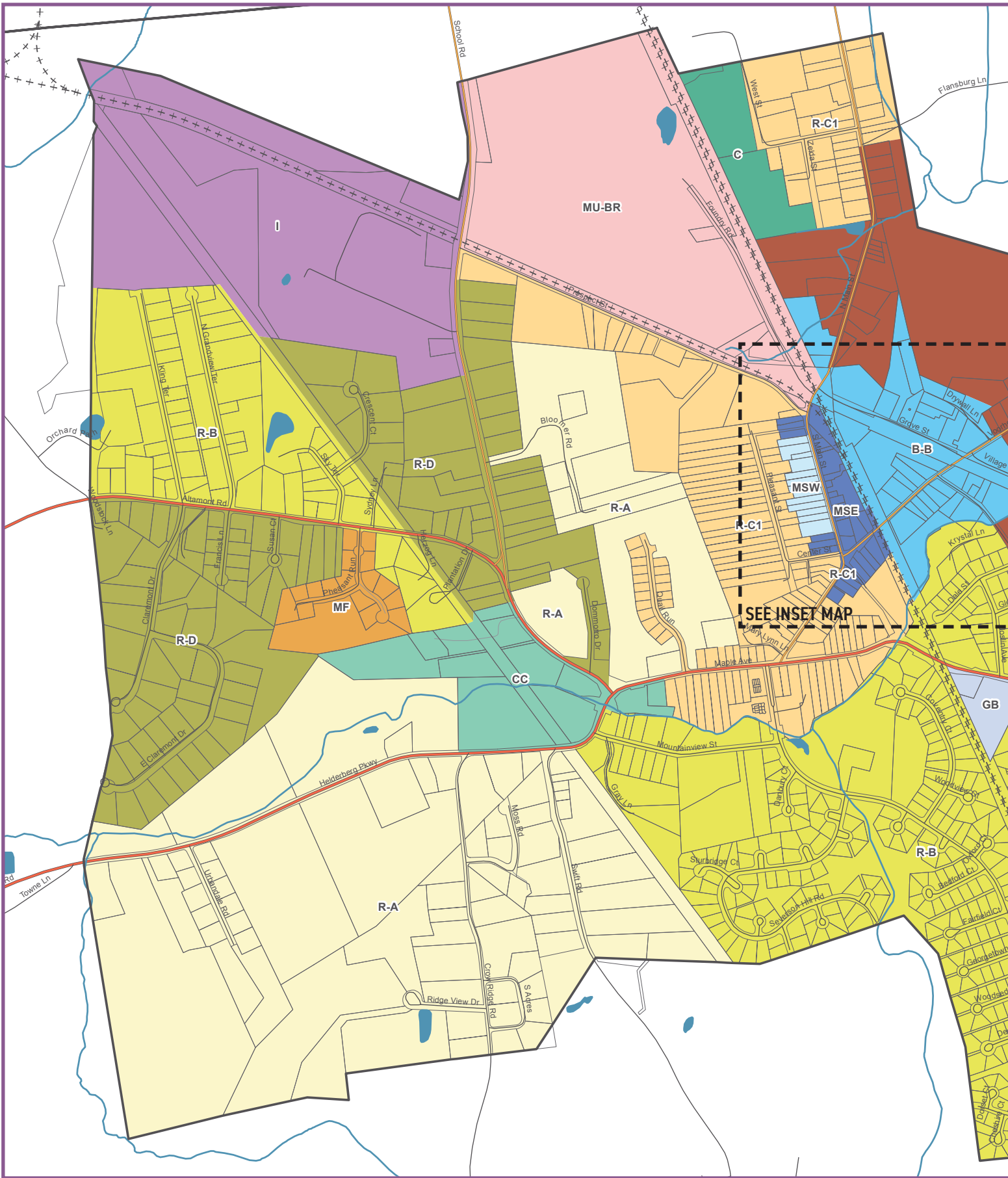
From Article IV - (C)(4)(c):

The Village desires to maintain and enhance the traditional character and function of South Main Street in the community. As per its adopted Comprehensive Plan, it finds that such character would be adversely affected by a proliferation of “formula businesses” which are required by contractual or other arrangements to be virtually identical to businesses in other communities - because of standardized architecture, services, merchandise, decor, uniforms and the like. The development of such businesses, if unchecked and unregulated, would conflict with the distinct atmosphere and unique character for which South Main Street is recognized, which the Village intends to revitalize and improve. Formula businesses are hereby regulated to preserve the character of the South Main Street business district as follows:

1. Formula businesses shall be allowed as a permitted use in existing buildings if no changes to the site layout, parking lot, or building design or structural changes are proposed. Signs shall be reviewed pursuant to Article V (C) (4).

2. Formula businesses proposed in a new building shall be permitted with a special use permitted approved by the Planning Commission. All new structures shall meet all design standards (outlined below) and shall be fully consistent with the architectural and streetscape character of South Main Street.

























3. Formula businesses located in a new building shall be limited to a building having a maximum square footage of 2,500 square feet, and a maximum of 65’ of road frontage.

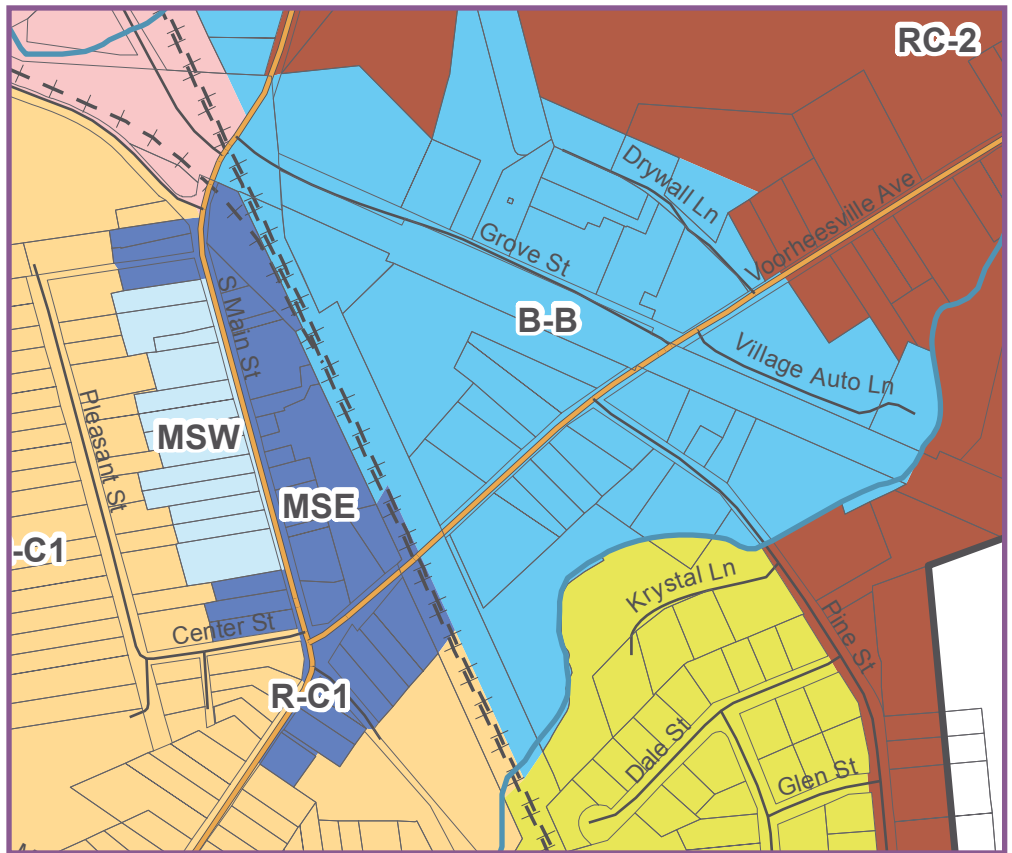


ZONING MAP

Maps provided here for reference/convenience only. Please refer to official zoning map on file with the Village of Voorheesville for the latest information.



- | | | | |
|---|---------------------------------------|---|---------------------|
|  | R-A, Residential A |  | Village Boundary |
|  | R-B, Residential B |  | Town Boundary |
|  | RC-1, Residential C1 |  | Property Boundaries |
|  | R-D, Residential D |  | Water |
|  | MF, Multi-family |  | Streams |
|  | RC-2, Residential C2 | Roads | |
|  | MU-BR, Mixed Use Business Residential |  | State Route |
|  | MSE, Main Street East |  | County Road |
|  | MSW, Main Street West |  | Local Road |
|  | CC, Creekside Commercial |  | Private Road |
|  | GB, General Business |  | Railroad |
|  | B-B, Business B | | |
|  | I, Industrial | | |
|  | C, Conservation | | |



Inset map showing detail of Main Street East (MSE) and Main Street West (MSW) zoning districts on South Main Street.

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